

PARK AVENUE
STREET INDEX

REFERENCE:

1. DEED BK. 5905 / PG. 112
2. "EXISTING CONDITIONS SURVEY A.P. 11-1 / LOTS 276 & 4062, 1369 PARK AVENUE CRANSTON, R.I. PREPARED FOR: MR. DAVE RICCI, 09-21-12, CARRIGAN ENGINEERING, INC."
3. "CLARA CARDI TRUSTEE PLAT, A.P. 11-1 / LOT 273, CRANSTON, R.I. JANUARY 27, 1997" PLAT CARD 607
4. ZONING DECISION BK. 6345 PG. 315
5. CRANSTON CITY PLAN COMMISSION DECISION LETTER: MASTER PLAN APPROVAL - 9/8/21

NOTE:

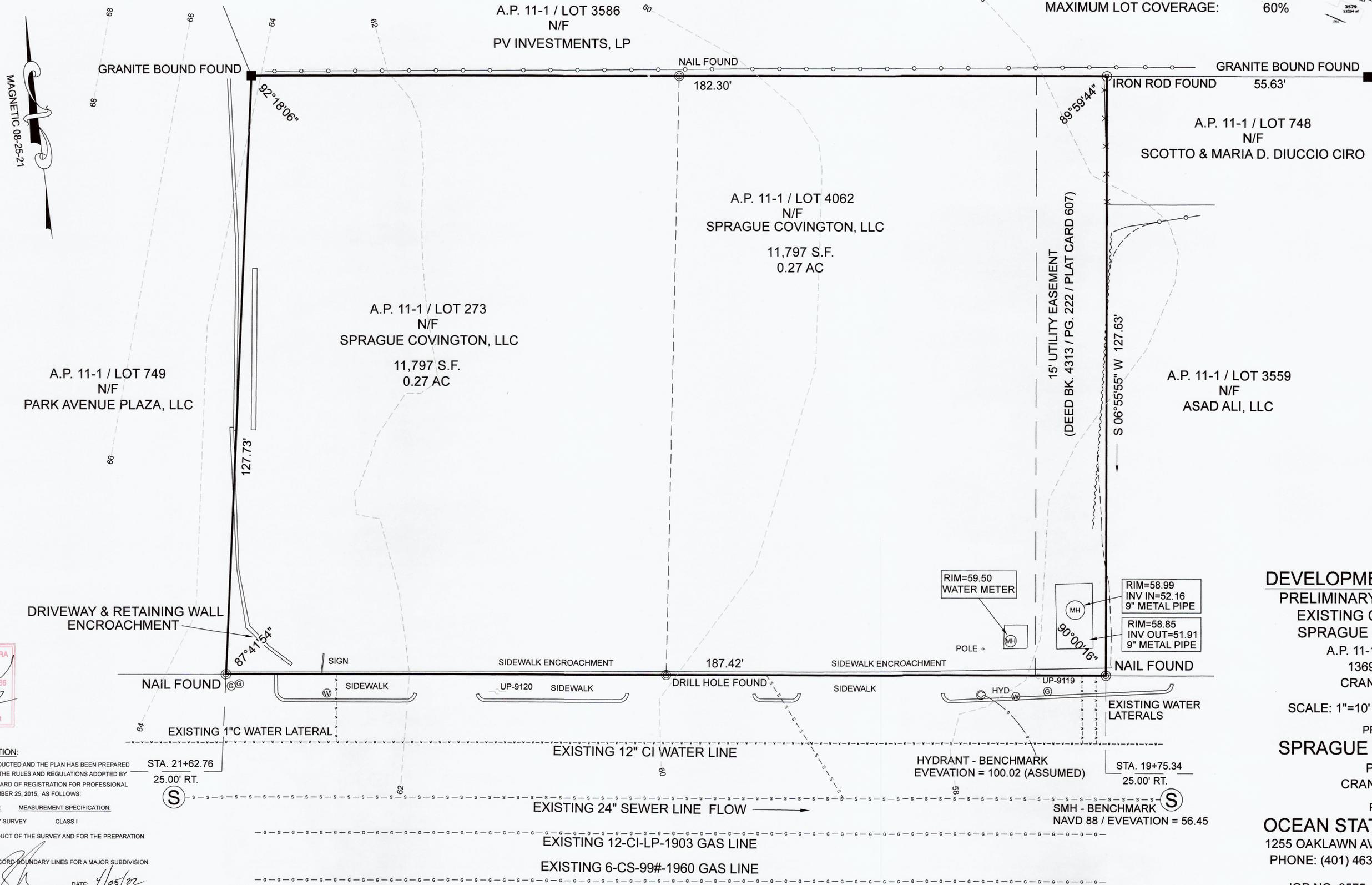
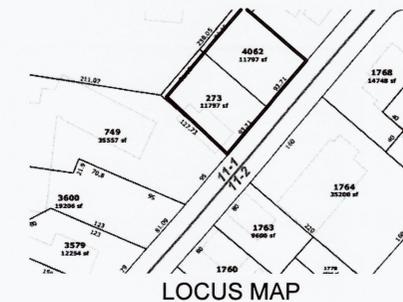
1. FEMA MAP 44007C0312H / 10/02/2015 / ZONE X.

OWNER:

SPRAGUE COVINGTON, LLC
P.O. BOX 7537
CRANSTON, R.I.

ZONING DISTRICT C-2

- MINIMUM LOT AREA: 6,000 S.F.
MINIMUM LOT FRONTAGE: 60 FT.
MINIMUM SETBACKS: FRONT: 25 FT.
SIDE: 8 FT.
REAR: 20 FT.
MAXIMUM STRUCTURE HEIGHT: 30 FT.
MAXIMUM LOT COVERAGE: 60%



SURVEY CLASSIFICATION:
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY
MEASUREMENT SPECIFICATION: CLASS I

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
TO ESTABLISH AND STAKE RECORD BOUNDARY LINES FOR A MAJOR SUBDIVISION.

BY: *[Signature]* DATE: 4/05/22

BY: RICHARD T. BZDYRA, PLS. LICENSE #1786, COA # LS-A60
THE FOLLOWING TYPES OF EVIDENCE WERE USED TO CONSTRUCT THIS SURVEY:
RECORDED FOUND MONUMENTS IF ANY, NON-RECORDED MONUMENTS, LINES OF POSSESSION, AND OTHER EVIDENCE RELATIVE TO THE DEED OR PLAT. THE BOUNDARY SOLUTION IS THE COMPILATION OF INFORMATION TO DETERMINE THE MOST PROBABLE LOCATION OF THE SURVEYED PARCEL.

DEVELOPMENT PLAN REVIEW
PRELIMINARY PLAN APPLICATION
EXISTING CONDITIONS PLAN
SPRAGUE COVINGTON PLAT
A.P. 11-1 / LOTS 273 & 4062
1369 PARK AVENUE
CRANSTON, R.I. 02887

SCALE: 1"=10' DATE: MARCH 3, 2022
PREPARED FOR:
SPRAGUE COVINGTON, LLC
P.O. BOX 7537
CRANSTON, R.I. 02910

PREPARED BY:
OCEAN STATE PLANNERS, INC.
1255 OAKLAWN AVENUE, CRANSTON, RI 02920
PHONE: (401) 463-9696 info@osplanners.com

JOB NO. 9575 / DWG. NO. 9575 - (JNP)
SHEET 1 OF 3
GRAPHIC SCALE / 1" = 10'

PARK AVENUE
(R.I. STATE HIGHWAY PLAT 1117 - 50' PUBLIC)

PARK AVENUE

STREET INDEX

REFERENCE:

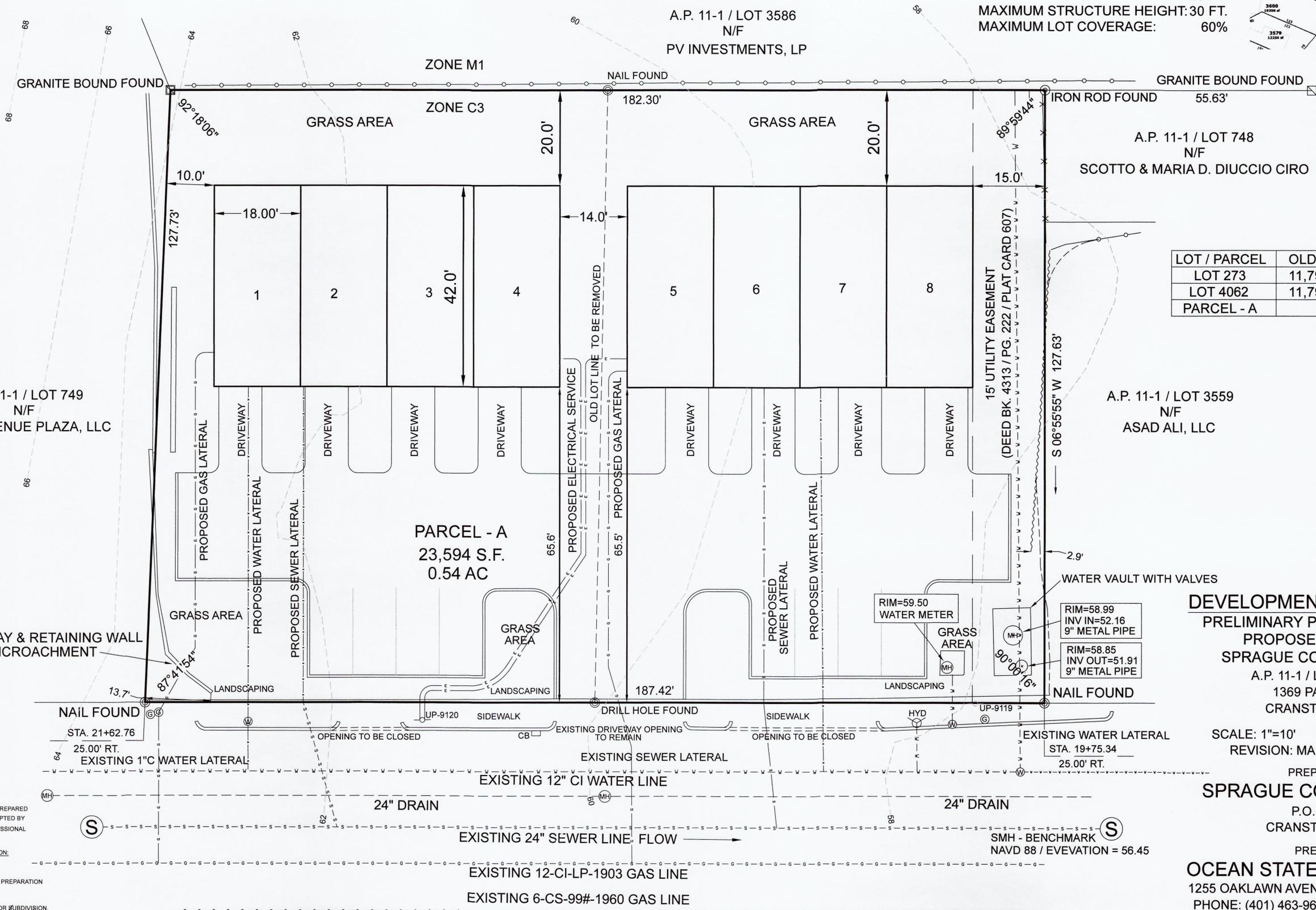
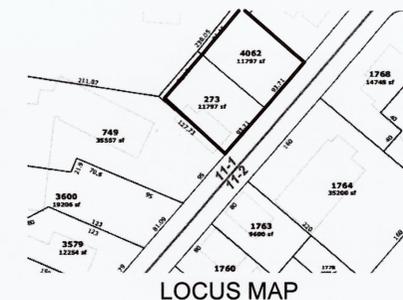
1. DEED BK. 5905 / PG. 112
2. "EXISTING CONDITIONS SURVEY A.P. 11-1 / LOTS 276 & 4062, 1369 PARK AVENUE CRANSTON, R.I. PREPARED FOR: MR. DAVE RICCI, 09-21-12, CARRIGAN ENGINEERING, INC."
3. "CLARA CARDI TRUSTEE PLAT, A.P. 11-1 / LOT 273, CRANSTON, R.I. JANUARY 27, 1997" PLAT CARD 607
4. ZONING DECISION BK. 6345 PG. 315
5. CRANSTON CITY PLAN COMMISSION DECISION LETTER: MASTER PLAN APPROVAL - 9/8/21

NOTE:

1. FEMA MAP 44007C0312H / 10/02/2015 / ZONE X.
2. DESCRIPTION FROM THE SOIL SURVEY OF R.I. UD-UDORTHENTS-URBAN LAND COMPLEX.

ZONING DISTRICT C-2

- MINIMUM LOT AREA: 6,000 S.F.
 MINIMUM LOT FRONTAGE: 60 FT.
 MINIMUM SETBACKS: FRONT: 25 FT.
 SIDE: 8 FT.
 REAR: 20 FT.
 MAXIMUM STRUCTURE HEIGHT: 30 FT.
 MAXIMUM LOT COVERAGE: 60%



LOT / PARCEL	OLD AREA	NEW AREA
LOT 273	11,797 S.F.	0
LOT 4062	11,797 S.F.	0
PARCEL - A	0	23,594 S.F.

DEVELOPMENT PLAN REVIEW
 PRELIMINARY PLAN APPLICATION
 PROPOSED SITE PLAN
 SPRAGUE COVINGTON PLAT
 A.P. 11-1 / LOTS 273 & 4062
 1369 PARK AVENUE
 CRANSTON, R.I. 02887

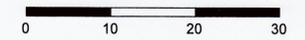
SCALE: 1"=10' DATE: MARCH 3, 2022
 REVISION: MARCH 28, 2022 (AJB)

PREPARED FOR:
SPRAGUE COVINGTON, LLC
 P.O. BOX 7537
 CRANSTON, R.I. 02910

PREPARED BY:
OCEAN STATE PLANNERS, INC.
 1255 OAKLAWN AVENUE, CRANSTON, RI 02920
 PHONE: (401) 463-9696 info@osplanners.com

JOB NO. 9575 / DWG. NO. 9575 - (JNP)
 SHEET 2 OF 3

GRAPHIC SCALE / 1" = 10'



SURVEY CLASSIFICATION:
 THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY
 MEASUREMENT SPECIFICATION: CLASS 1

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
 TO ESTABLISH AND STAKE RECORD BOUNDARY LINES FOR A MAJOR SUBDIVISION.

BY: *[Signature]* DATE: 4/05/22

BY: RICHARD T. BZDYRA, PLS. LICENSE #1786; COA #LS-A60
 THE FOLLOWING TYPES OF EVIDENCE WERE USED TO CONSTRUCT THIS SURVEY: RECORDED FOUND MONUMENTS IF ANY, NON-RECORDED MONUMENTS, LINES OF POSSESSION, AND OTHER EVIDENCE RELATIVE TO THE DEED OR PLAT. THE BOUNDARY SOLUTION IS THE COMPILATION OF INFORMATION TO DETERMINE THE MOST PROBABLE LOCATION OF THE SURVEYED PARCEL.

PARK AVENUE
 (R.I. STATE HIGHWAY PLAT 1117 - 50' PUBLIC)

OWNER:
 SPRAGUE COVINGTON, LLC
 P.O. BOX 7537
 CRANSTON, R.I.

ZONING DISTRICT C-2

MINIMUM LOT AREA: 6,000 S.F.
MINIMUM LOT FRONTAGE: 60 FT.
MINIMUM SETBACKS: FRONT: 25 FT.
SIDE: 8 FT.
REAR: 20 FT.
MAXIMUM STRUCTURE HEIGHT: 30 FT.
MAXIMUM LOT COVERAGE: 60%

ZONING DISTRICT C-3

MINIMUM LOT AREA: 6,000 S.F.
MINIMUM LOT FRONTAGE: 60 FT.
MINIMUM SETBACKS: FRONT: 0 FT.
SIDE: 0 FT.
REAR: 20 FT.
MAXIMUM STRUCTURE HEIGHT: 35 FT.
MAXIMUM LOT COVERAGE: 100%

ZONING DISTRICT M-2

MINIMUM LOT AREA: 60,000 S.F.
MINIMUM LOT FRONTAGE: 200 FT.
MINIMUM SETBACKS: FRONT: 40 FT.
SIDE: 25 FT.
REAR: 30 FT.
MAXIMUM STRUCTURE HEIGHT: 35 FT.
MAXIMUM LOT COVERAGE: 60%

DEVELOPMENT PLAN REVIEW

PRELIMINARY PLAN APPLICATION
500 FOOT RADIUS MAP
SPRAGUE COVINGTON PLAT
A.P. 11-1 / LOTS 273 & 4062
1369 PARK AVENUE
CRANSTON, R.I. 02887

SCALE: 1"=10' DATE: MARCH 3, 2022

PREPARED FOR:
SPRAGUE COVINGTON, LLC

P.O. BOX 7537
CRANSTON, R.I. 02910

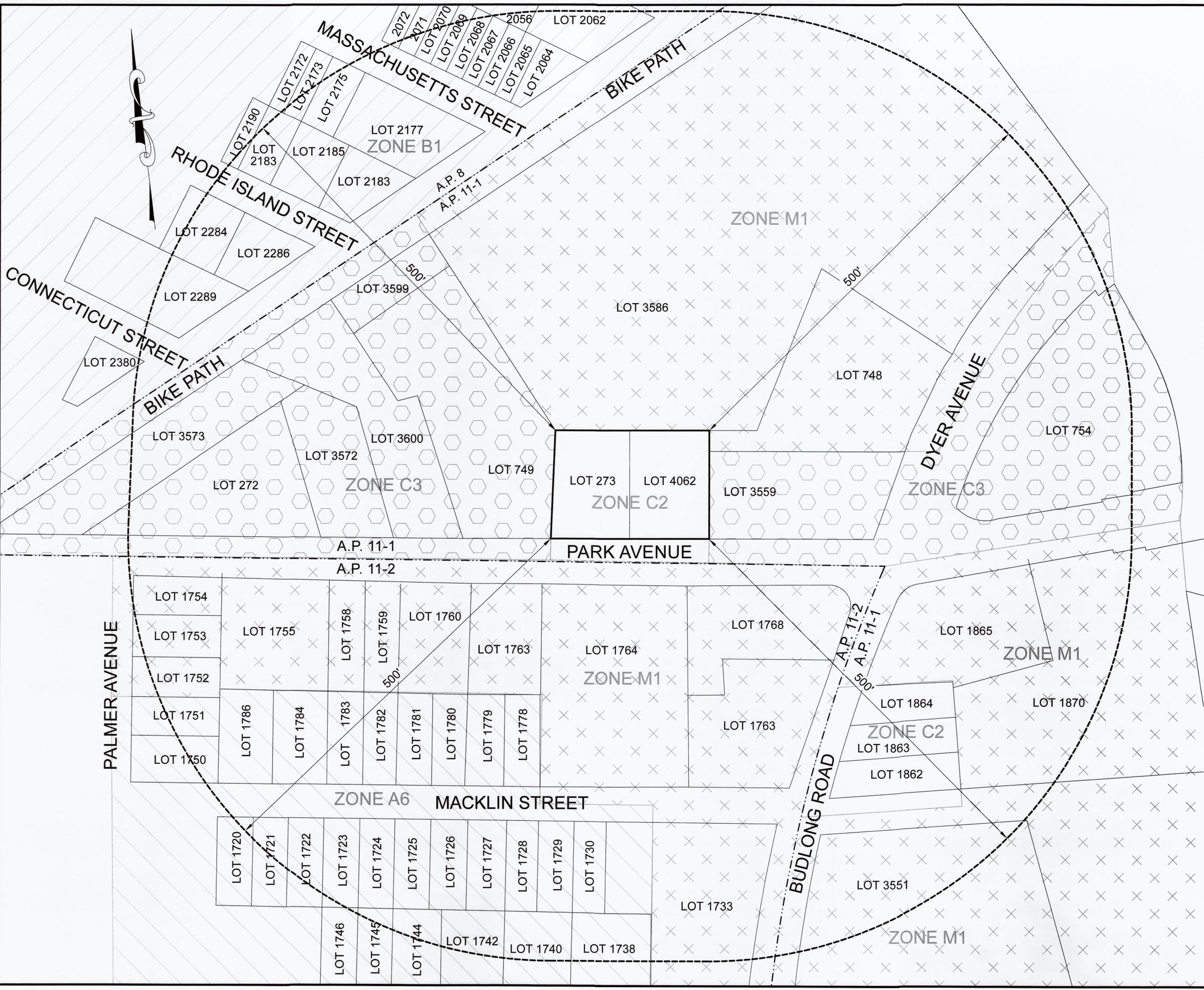
PREPARED BY:
OCEAN STATE PLANNERS, INC.

1255 OAKLAWN AVENUE, CRANSTON, RI 02920
PHONE: (401) 463-9696 info@osplanners.com

JOB NO. 9575 / DWG. NO. 9575 - (JNP)

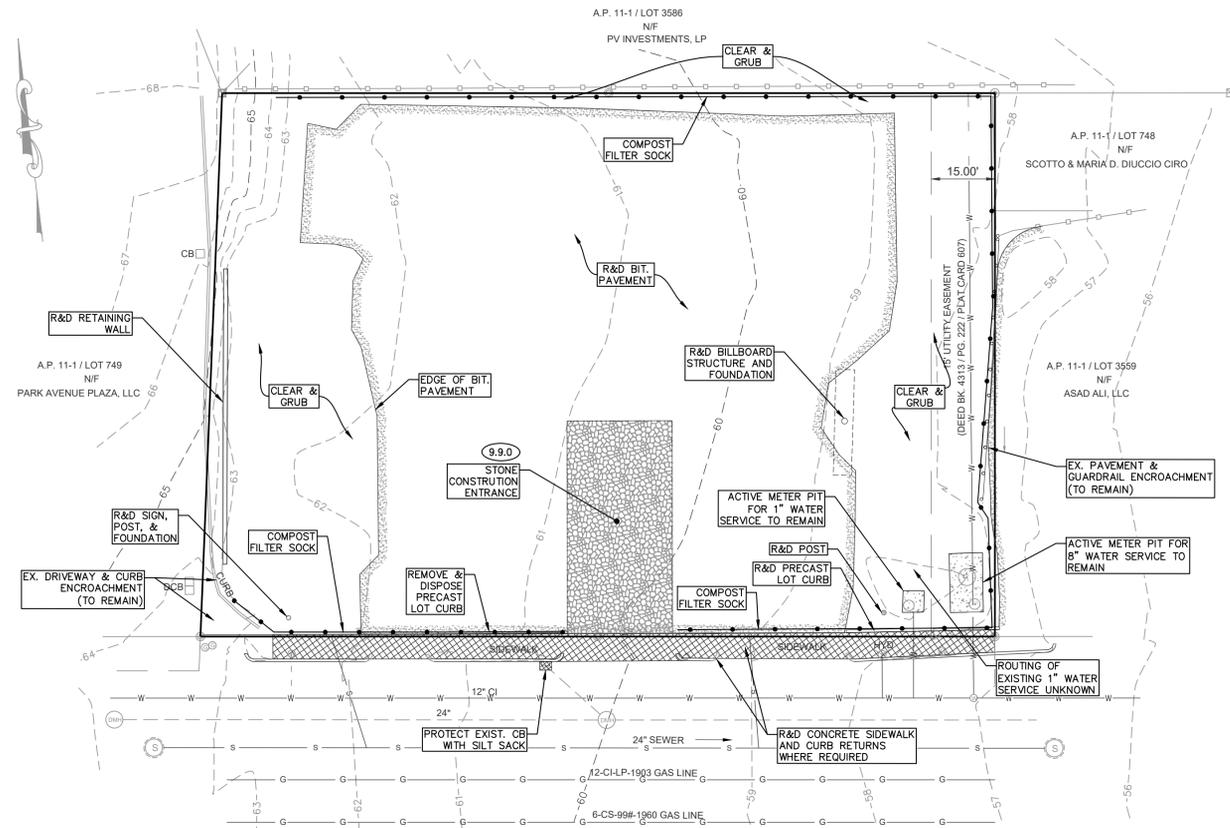
SHEET 3 OF 3

GRAPHIC SCALE / 1" = 50'



Existing Site Cover

TOTAL PROPERTY AREA	23,594 SQ. FT.
• BITUMINOUS PAVEMENT	15,085 SQ. FT.
• CONCRETE PAVEMENT	135 SQ. FT.
• BRUSH / LAWN	8,374 SQ. FT. (35.5%)



LEGEND & SYMBOLS

- EXISTING**
- SURVEY NAIL FOUND
 - GRANITE BOUND FOUND
 - PROPERTY LINE
 - - - CONTOUR
 - WOOD FENCE
 - STEEL GUARDRAIL
 - W WATER LINE
 - S SEWER LINE
 - G GAS LINE
 - SEWER MANHOLE
 - DRAIN MANHOLE
 - CATCH BASIN
 - HYD ○ FIRE HYDRANT
 - WATER VALVE / CURB STOP
 - GAS VALVE
 - TESTHOLE / SOIL EVALUATION

RIDOT Standard Details

- 7.3.0 GRANITE CURB
- 7.3.1 3' GRANITE TRANSITION CURB
- 7.5.1 BITUMINOUS BERM
- 7.6.0 CURB SETTING DETAIL
- 9.9.0 CONSTRUCTION ACCESS
- 24.6.0 PARKING SIGN MOUNTING DETAIL
- 27.1.0 REGULATORY SIGNS
- 34.2.0 STEEL BEAM GUARDRAIL
- 43.1.0 CEMENT CONCRETE SIDEWALK
- 43.4.0 DRIVEWAY DEVELOPMENT FOR 3'-0" TRANSITION CURB
- 43.5.0 CEMENT CONCRETE DRIVEWAYS

Soil Erosion & Sediment Control (SESC) Notes:

- THIS PROJECT DISTURBS LESS THAN ONE (1) ACRE OF AREA AND THEREFORE DOES NOT REQUIRE A RIDEM RIPDES CONSTRUCTION GENERAL PERMIT. HOWEVER, THE CONTRACTOR SHALL INSTALL AND MAINTAIN SOIL EROSION AND SEDIMENT CONTROLS AS SHOWN ON THIS PLAN AND IN ACCORDANCE WITH THE STATE OF RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK.
- ALL DISTURBED AREAS SHALL BE STABILIZED WITH AT LEAST 4" OF TOPSOIL AND SEED. THE CONTRACTOR SHALL PROVIDE MAINTENANCE (I.E. WATERING, RE-SEEDING, ETC.) FOR ONE FULL GROWING SEASON.
- EROSION CONTROLS SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
- THE CONTRACTOR SHALL MAINTAIN ALL STOCKPILES AND SEDIMENT BARRIERS THROUGHOUT CONSTRUCTION.
- REMOVE ACCUMULATED SEDIMENT WHEN HALF THE ORIGINAL HEIGHT OF THE EROSION BARRIERS BECOMES BURIED WITH SEDIMENT.
- THE ANTI-TRACKING PAD AT THE SITE ENTRANCE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION UNTIL PAVEMENT IS PLACED. THE MAINTENANCE SHALL INCLUDE TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND.
- ALL SEDIMENTS SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
- FLUSH DRAIN PIPES AND REMOVE SEDIMENT FROM TEMPORARY AND/OR PERMANENT STORMWATER SWALES AND BASINS.

General Site Construction Notes

- CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
- ADA ACCESSIBLE ROUTES INCLUDING PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT.
- ALL AREAS AFFECTED BY CONSTRUCTION SHALL BE STABILIZED AND/OR RESTORED.
- OWNER OR CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK.

GENERAL NOTE:
CONTRACTOR SHALL VERIFY GRADES, LOCATIONS OF SITE FEATURES, AND UNDERGROUND UTILITIES. ANY DISCREPANCIES SHALL BE NOTED AND THE SITE CONTRACTOR SHALL NOTIFY THE CIVIL ENGINEER. THESE CONDITIONS CAUSE CONCERN OR POTENTIAL ISSUES.

Advanced Civil Design, Inc.

SITE/CIVIL ENGINEERS
88 PEEPTOAD ROAD
SCITUATE, RI 02857
PH: (401) 473-4404



REVISION

PROJECT TITLE:

Sprague Covington Plat

A.P. 11-1 Lots 273 & 4062
1369 Park Avenue
Cranston, RI 02887

PREPARED FOR:

SPRAGUE COVINGTON, LLC
P.O. Box 7537
Cranston, RI 02910

DRAWING TITLE:

Site Demolition, Soil Erosion & Sediment Control Plan, Details, & Notes

DATE: 12/2021

DRAWN BY: C.S.R.

SCALE: AS NOTED

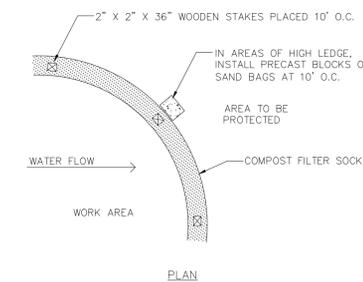
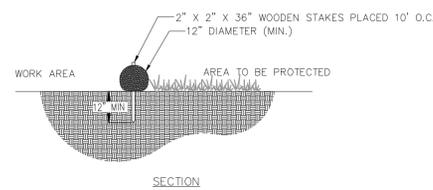
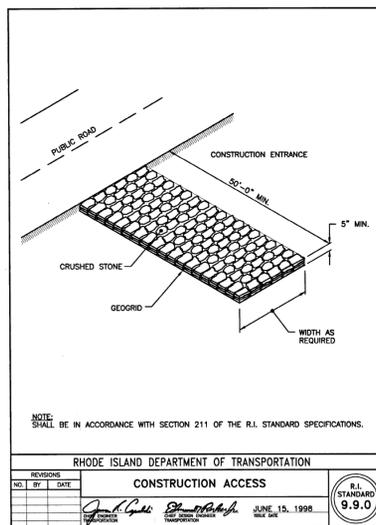
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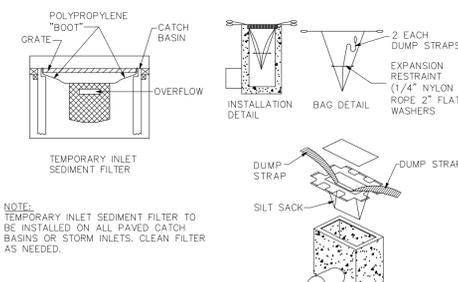
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CURTIS S. RUOFFO
No. 8756
REGISTERED PROFESSIONAL ENGINEER (CIVIL)

C1.0



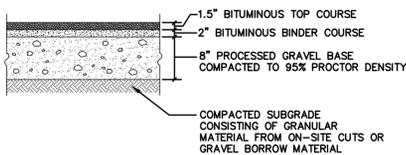
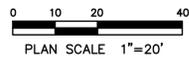
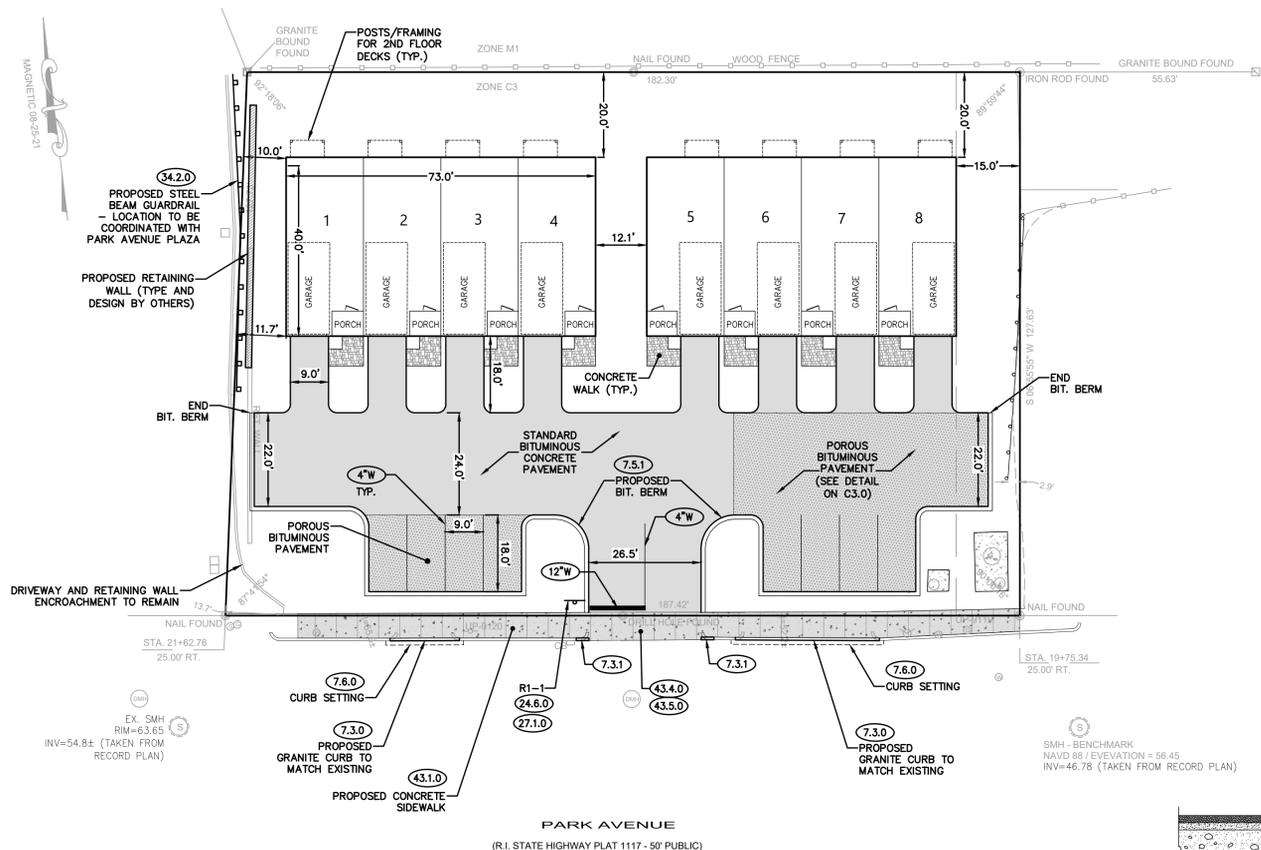
COMPOST FILTER SOCK
NOT TO SCALE



SILT SACK DETAIL
NOT TO SCALE

Proposed Site Cover

TOTAL PROPERTY AREA	23,594 SQ. FT.
• BUILDINGS W/ OVERHANG	6,132 SQ. FT.
• BITUMINOUS PAVEMENT	7,300 SQ. FT.
• EX. BIT. PAVEMENT TO REMAIN	135 SQ. FT.
• CONCRETE PAVEMENT	400 SQ. FT.
• LANDSCAPE / LAWN	9,627 SQ. FT. (40.8%)



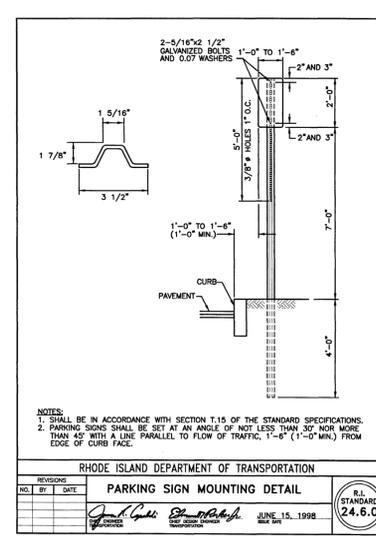
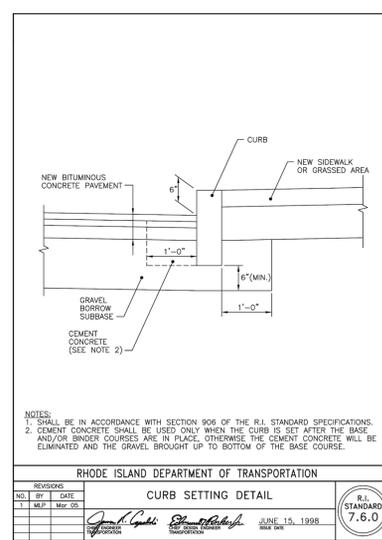
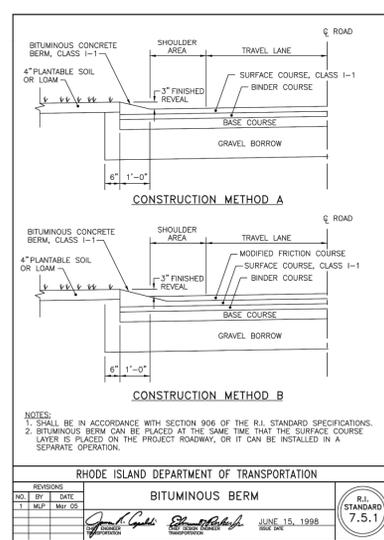
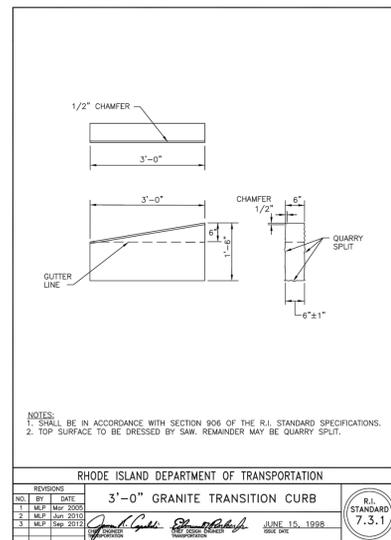
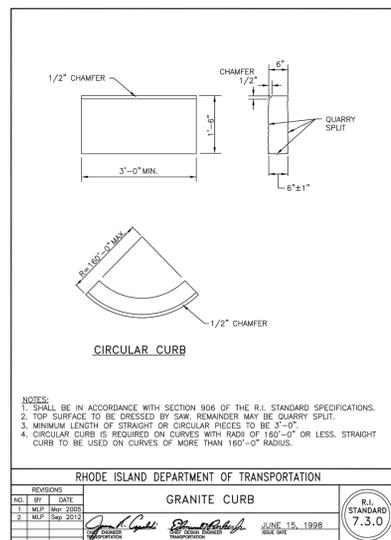
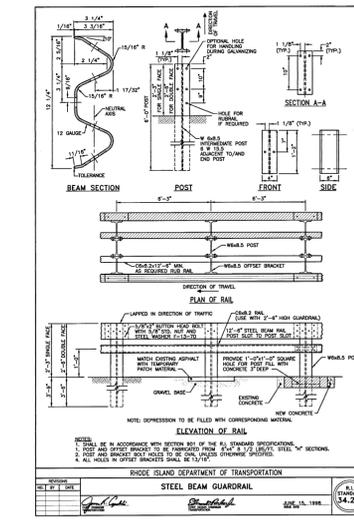
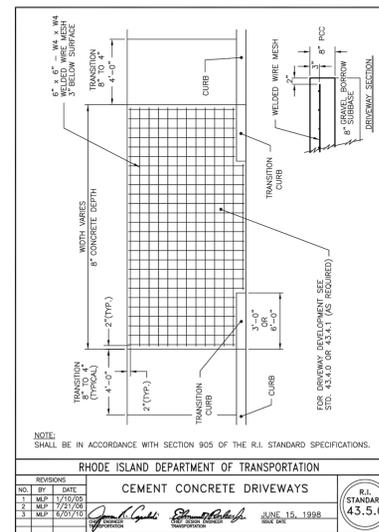
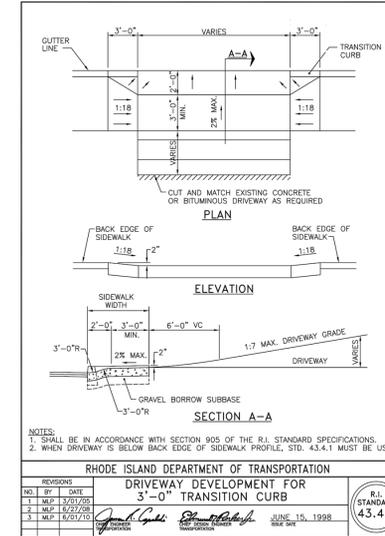
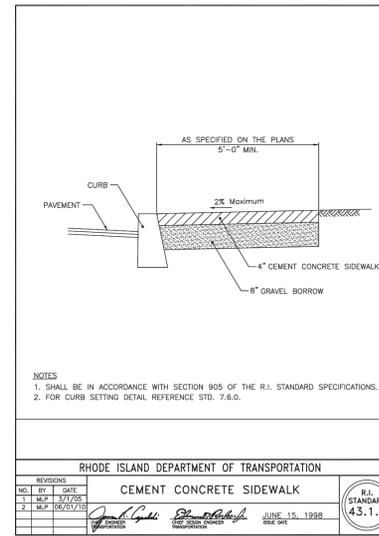
LEGEND & SYMBOLS

EXISTING	
	SURVEY NAIL FOUND
	GRANITE BOUND FOUND
	PROPERTY LINE
	CONTOUR
	WOOD FENCE
	STEEL GUARDRAIL
	WATER LINE
	SEWER LINE
	GAS LINE
	SEWER MANHOLE
	DRAIN MANHOLE
	CATCH BASIN
	FIRE HYDRANT
	WATER VALVE / CURB STOP
	GAS VALVE
	TEST HOLE / SOIL EVALUATION
PROPOSED	
	LIMIT OF WORK
	PERIMETER EROSION CONTROL
	CONTOUR
	SPOT ELEVATION
	SEWER PIPE
	WATER PIPE
	ELECTRIC SERVICE
	GAS PIPE
	RIP-RAP
	STANDARD BITUMINOUS PAVEMENT
	POROUS BITUMINOUS PAVEMENT
	CONCRETE PAVEMENT

RIDOT Standard Details

- 7.3.0 GRANITE CURB
- 7.3.1 3' GRANITE TRANSITION CURB
- 7.5.1 BITUMINOUS BERM
- 7.6.0 CURB SETTING DETAIL
- 9.9.0 CONSTRUCTION ACCESS
- 24.6.0 PARKING SIGN MOUNTING DETAIL
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GENERAL NOTE:
CONTRACTOR SHALL VERIFY GRADES, LOCATIONS OF SITE FEATURES, AND UNDERGROUND UTILITIES. ANY DISCREPANCIES SHALL BE NOTED AND THE SITE CONTRACTOR SHALL NOTIFY THE CIVIL ENGINEER THESE CONDITIONS CONCERN OR POTENTIAL ISSUES.



NO.	BY	DATE	DESCRIPTION
1	JL	12/20/21	REGULATORY SIGNS

Advanced Civil Design, Inc.
SITE/CIVIL ENGINEERS
88 PEEPTOAD ROAD
SCITUATE, RI 02857
PH: (401) 473-4404

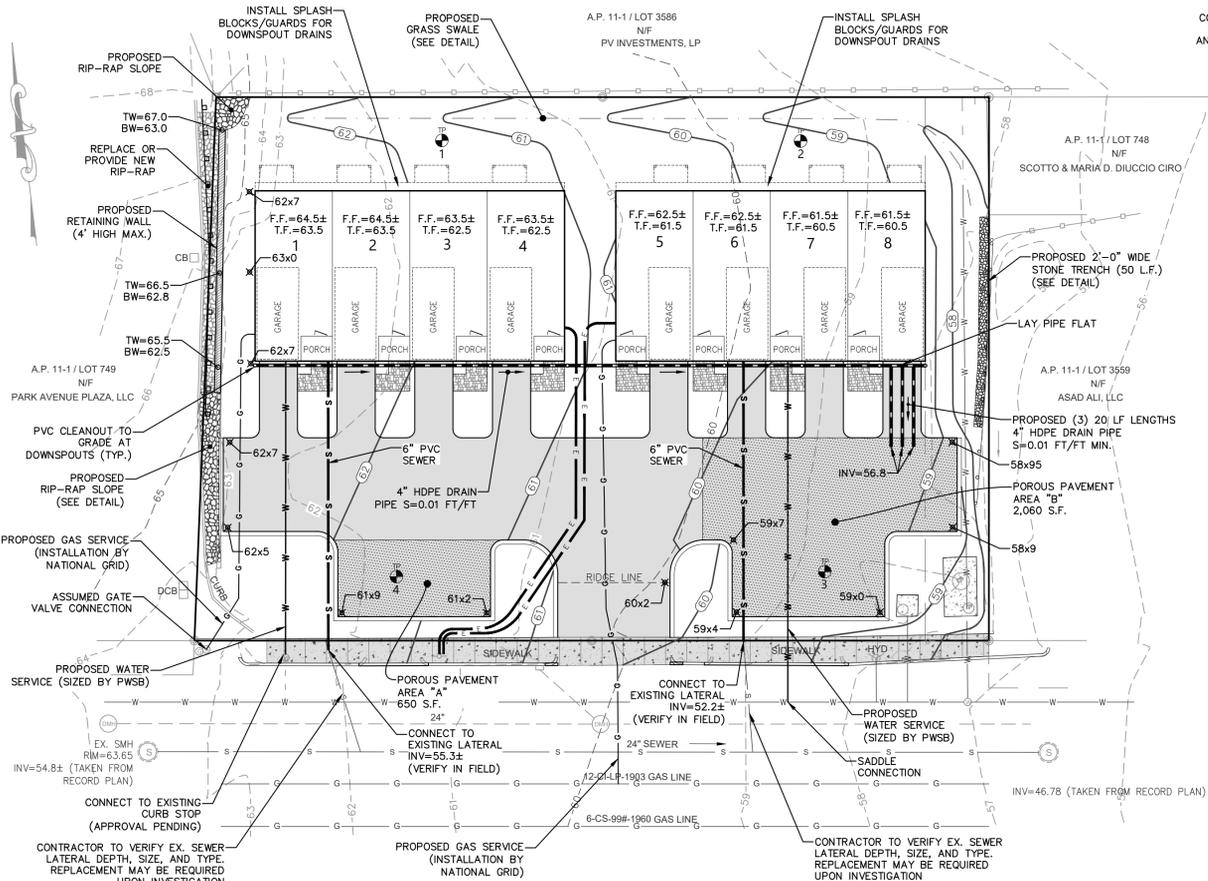
1 3/23/22 BUILDING FOOTPRINT ADJUSTMENTS
NO. DATE REVISION
PROJECT TITLE:
Sprague Covington Plat
A.P. 11-1 Lots 273 & 4062
1369 Park Avenue
Cranston, RI 02887

PREPARED FOR:
SPRAGUE COVINGTON, LLC
P.O. Box 7537
Cranston, RI 02910

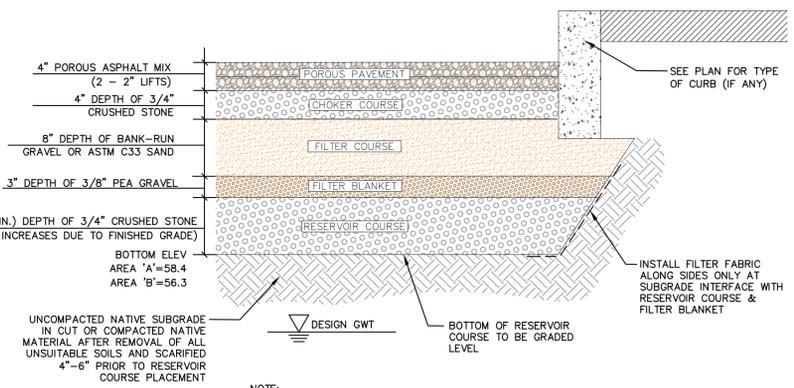
DRAWING TITLE:
Layout and Materials Plan, Details, & Notes

DATE: 12/20/21 DRAWN BY: C.S.R.
SCALE: AS NOTED CHECKED BY: C.S.R.

DRAWING NO. C2.0
No. 8756
REGISTERED PROFESSIONAL ENGINEER (CIVIL)

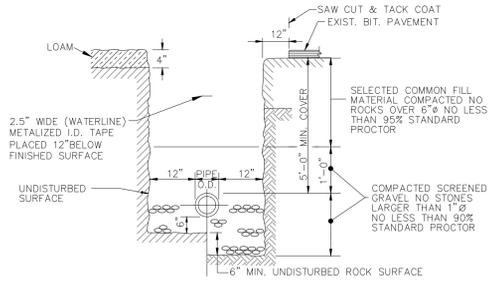


TEST PIT	TOTAL DEPTH	DEPTH TO GROUNDWATER R SEEPAGE	DEPTH TO DESIGN GWT (SEASONAL HIGH)	EXISTING SURFACE ELEV.	DESIGN GWT ELEV.
1	96"	NONE	84"	61.7	54.7
2	96"	NONE	72"	59.4	53.4
3	96"	NONE	NONE	58.6	48.6
4	96"	NONE	NONE	61.7	51.7

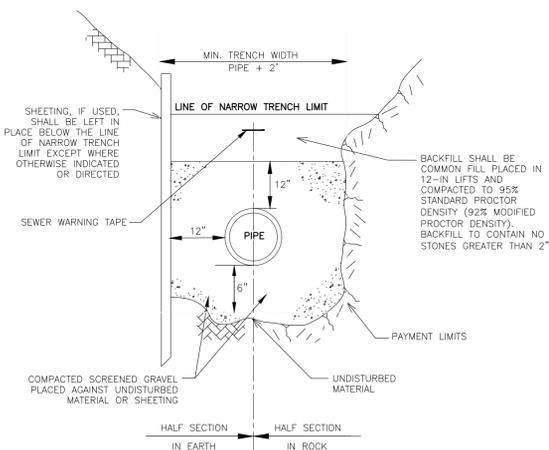


NOTE: CONSTRUCTION SHALL FOLLOW UNIVERSITY OF NEW HAMPSHIRE STORMWATER CENTER DESIGN SPECIFICATIONS FOR POROUS ASPHALT PAVEMENT AND INFILTRATION BEDS WHICH CAN BE FOUND ONLINE OR PROVIDED UPON REQUEST.

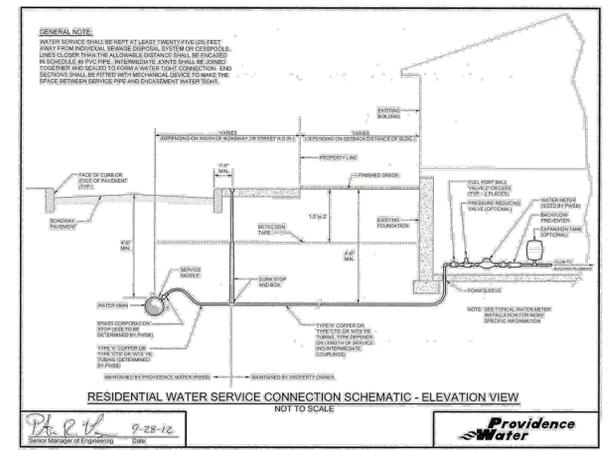
POROUS PAVEMENT
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WATER TRENCH
NOT TO SCALE



GRAVITY SEWER TRENCH
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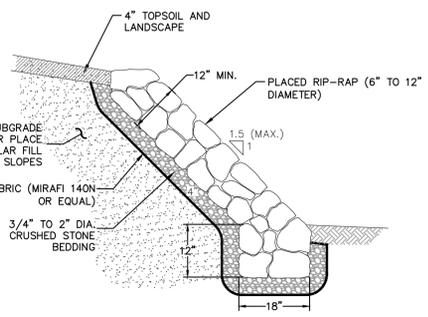
GRAVITY SEWER BUILDING CONNECTION DETAIL
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Drainage & Utility Notes

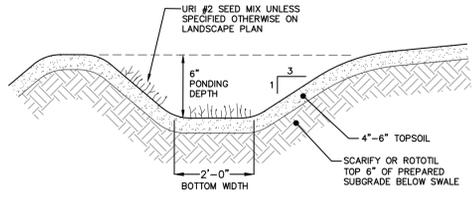
- THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY BASED ON BEST AVAILABLE INFORMATION. THE OWNER OR ITS REPRESENTATIVE(S) MUST VERIFY THIS INFORMATION PRIOR TO START OF CONSTRUCTION.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED BY THE CONTRACTOR. THE INFORMATION SHALL BE FURNISHED IN WRITING TO THE ENGINEER FOR THE RESOLUTION OF ANY CONFLICT.
- EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE, AND UTILITY COMPANY STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
- ALL CATCH BASINS AND DRAIN MANHOLES SHALL BE 4 FT. DIAMETER, UNLESS NOTED OTHERWISE.
- RIM ELEVATIONS SHALL BE SET FLUSH TO FINAL GRADES.
- THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, ETC.).
- CONTRACTOR TO CREATE POSITIVE DRAINAGE TOWARDS ALL DRAIN INLETS.
- AS-BUILT DRAWINGS SHALL BE PREPARED IN ACCORDANCE WITH EACH RESPECTIVE AUTHORITY AND SHALL BE PREPARED AND STAMPED BY A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF RHODE ISLAND.

Long-Term Stormwater System Maintenance

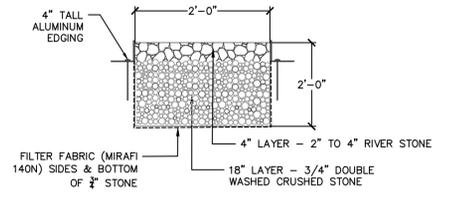
- THE OWNER OF THE PROPERTY (OR CONDOMINIUM ASSOCIATION) IS RESPONSIBLE FOR THE LONG-TERM MAINTENANCE AND OPERATION OF THE DRAINAGE SYSTEM. A LEGALLY BINDING MAINTENANCE AGREEMENT SHOULD BE DEVELOPED AND, AT A MINIMUM, CONSISTS OF THE FOLLOWING ACTION ITEMS:
- POROUS PAVEMENT**
- PERMEABLE PAVEMENT REQUIRES REGULAR VACUUM SWEEPING AND/OR HOISING (MINIMUM EVERY THREE MONTHS) TO KEEP THE SURFACE FROM CLOGGING. MAINTENANCE FREQUENCY NEEDS MAY BE MORE OR LESS DEPENDING ON THE TRAFFIC VOLUME AT THE SITE. THE SITE SHALL BE INSPECTED REGULARLY TO ENSURE THAT THE PAVING SURFACE DRAINS PROPERLY AFTER STORMS. INSPECT THE SURFACE ANNUALLY FOR DETERIORATION OR SPALLING. IF SURFACE NEEDS TO BE REPAIRED, ENSURE THAT IT IS NOT RE-PAVED OR RESEALED WITH IMPERMEABLE MATERIALS.
 - MINIMIZE USE OF SAND AND SALT IN WINTER MONTHS. KEEP ADJACENT LANDSCAPE AREAS WELL MAINTAINED AND STABILIZED (EROSION GULLYING QUICKLY CORRECTED).
 - DO NOT STOCKPILE SNOW ON POROUS PAVEMENT AREAS.
- GRASS SWALE**
- REMOVE SEDIMENT BUILD-UP WITHIN THE BOTTOM OF THE CHANNEL DURING SPRING CLEAN-UP AND FALL AS PART OF LAST MOWING.
 - MAINTAIN AN AVERAGE GRASS HEIGHT OF SIX (6) INCHES.
 - CORRECT ERODED GULLIES AND MAINTAIN HEALTHY STAND OF VEGETATION TO MAXIMUM TREATMENT.



RIP-RAP SLOPE
NOT TO SCALE

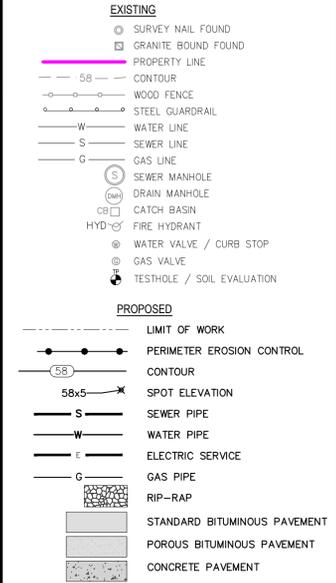


GRASS SWALE
NOT TO SCALE



STONE TRENCH
NOT TO SCALE

LEGEND & SYMBOLS



GENERAL NOTE:
CONTRACTOR SHALL VERIFY GRADES, LOCATIONS OF SITE FEATURES, AND UNDERGROUND UTILITIES. ANY DISCREPANCIES SHALL BE NOTED AND THE SITE CONTRACTOR SHALL NOTIFY THE CIVIL ENGINEER THESE CONDITIONS CAUSE CONCERN OR POTENTIAL ISSUES.

Advanced Civil Design, Inc.
SITE/CIVIL ENGINEERS
88 PEEPTOAD ROAD
SCITUATE, RI 02857
PH: (401) 473-4404

REVISION

PROJECT TITLE:
Sprague Covington Plat

A.P. 11-1 Lots 273 & 4062
1369 Park Avenue
Cranston, RI 02887

PREPARED FOR:
SPRAGUE COVINGTON, LLC
P.O. Box 7537
Cranston, RI 02910

DRAWING TITLE:
**Grading, Drainage, & Utility
Plan, Details, & Notes**

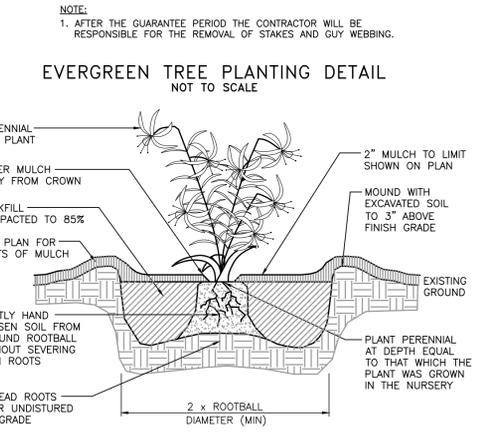
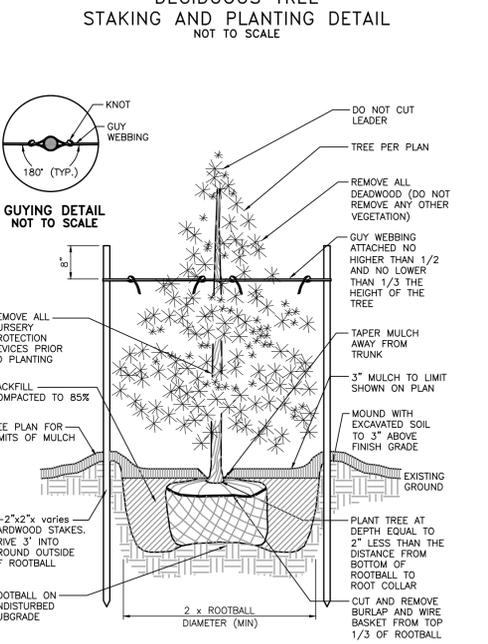
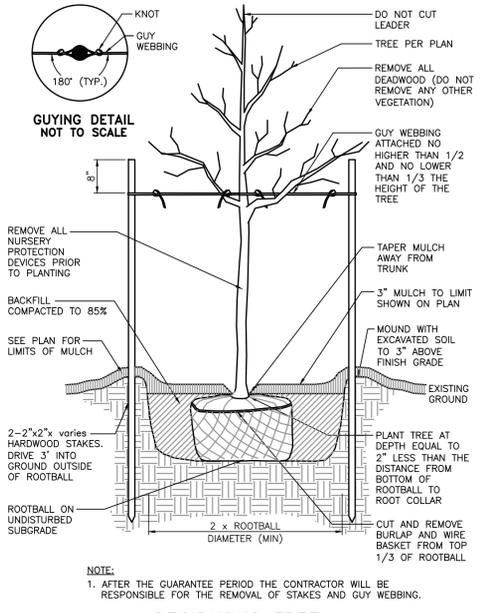
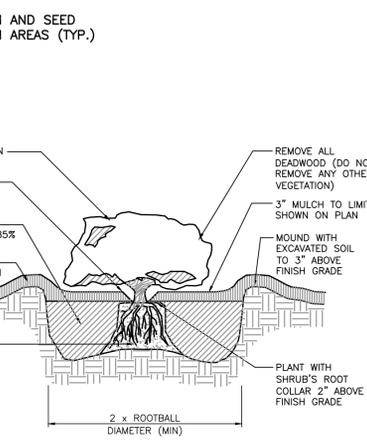
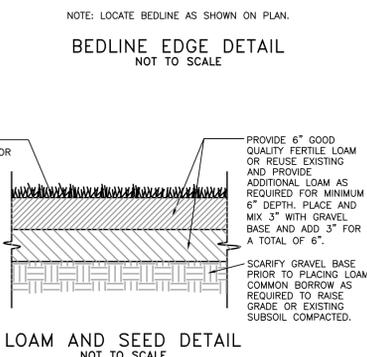
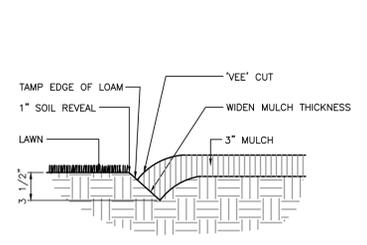
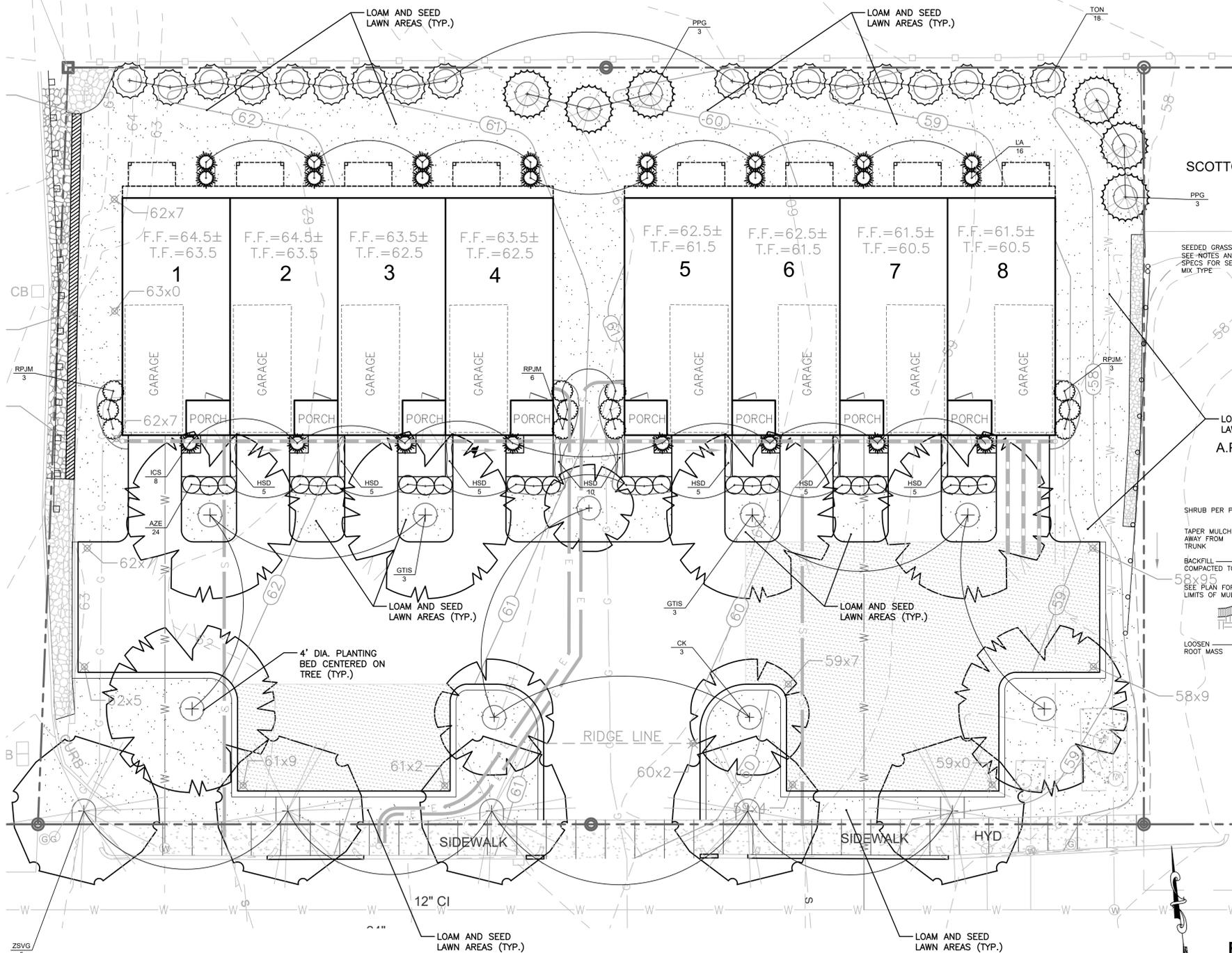
DATE: 12/2021
SCALE: AS NOTED

DRAWN BY: C.S.R.
CHECKED BY: C.S.R.

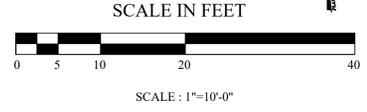
DRAWING NO.
C3.0



PV INVESTMENTS, LP



- PLANTING NOTES:**
- SEE THIS SHEET FOR PLANTING DETAILS AND PLANTING NOTES.
 - ALL PLANTING BEDS SHALL BE MULCHED WITH 3" SHREDDED BARK MULCH. SUBMIT SAMPLES TO OWNER PRIOR TO INSTALLATION.
 - IN CASES OF DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANTING SCHEDULE AND QUANTITIES INDICATED ON THE PLAN, QUANTITIES INDICATED ON THE PLAN SHALL GOVERN.
 - ALL COMPACTED SUBBASE SHALL BE SCARIFIED TO A MINIMUM OF 6" PRIOR TO INSTALLATION OF LOAM FOR FINE GRADING FOR ALL LAWN AREAS AND PLANTING BEDS.
 - THE CONTRACTOR SHALL COORDINATE ALL SITE UTILITY WORK WITH TREE AND PLANT LOCATION SHOWN ON THIS PLAN.
 - THE CONTRACTOR SHALL CONTACT AND NOTIFY DIG-SAFE PRIOR TO COMMENCEMENT OF PROJECT TO CONFIRM ALL EXISTING AND PROPOSED SITE UTILITY LOCATIONS.
 - ALL PROPOSED PLANTINGS SHALL BE INSTALLED AT GRADE ACCORDING TO THE PLANTING DETAILS. NO EXCESSIVE MOUNDING AND DEEP BURIAL OF TREES AND SHRUBS WILL BE ALLOWED, PLANT ACCORDING TO THE PLANTING DETAILS.
 - CONTENTS OF THIS PLAN REFLECT PLANTING DESIGN ONLY. REFER TO ARCHITECTURAL AND ENGINEERING SHEETS FOR ADDITIONAL INFORMATION THAT DIRECTLY AFFECTS PROPOSED LANDSCAPE DESIGN.



ZONING INFORMATION:

LOT SIZE: 23,594 SF
 2,786 SF OF SHADE COVERAGE PROVIDED (38%)
 9,627 SF OF LANDSCAPE AREA PROVIDED (40.8%)
 5 STREET TREES PROVIDED @ +/- 35' O.C.
 PARKING LOT SIZE: 7,300 SF
 MINIMUM SHADE COVERAGE REQUIRED (20%): 1,460 SF
 LANDSCAPE COVERAGE REQUIRED (15%): 3,539 SF
 1 TREE PER 35 LF OF LOT FRONTAGE: 5 REQUIRED

OVERALL PLANTING SCHEDULE				
TREES, SHRUBS, AND PERENNIALS				
Key	Botanical Name Common Name	Qty.	Size	Notes
AZE	<i>Apalca encore</i> 'Autumn Sangria' Autumn Sangria Repeat Blooming Azalea	24	3 Gal.	Cont.
CK	<i>Cornus kousa</i> Kousa Dogwood	3	2'-2.5' Cal.	B&B
GTIS	<i>Gleditsia inornata</i> 'Shadomaster' Shadomaster Honey Locust	6	2'-2.5' Cal.	B&B
HSD	<i>Hebe x exoniifolia</i> 'Spectra d'Or' Yellow Daylily	40	1 Gal.	Cont.
ICS	<i>Ilex crenata</i> 'Steady' Steady Holly	8	7 Gal.	Cont.
LA	<i>Ligustrum aurantiacum</i> Privet	16	3'-4'	B&B
PPG	<i>Picea pungens glauca</i> Colorado Blue Spruce	6	5'-6'	B&B
RPJM	<i>Rhododendron</i> 'PJM' PJM Rhododendron	12	24"-30"	B&B
TON	<i>Thuja occidentalis</i> 'Nigra' Dark American Arborvitae	18	4'-5'	B&B
ZSVG	<i>Zelkova serotina</i> 'Village Green' Village Green Elm	5	2'-2.5' Cal.	B&B

Not Issued For Construction

Revisions: No. Date: Notes:

MDG

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LANDSCAPE PLAN

Sprague Covington Flat

1369 Park Avenue, Cranston, Rhode Island 02920
 AP 11-1, Lots 273 & 4062

Job No: C-ParkAvenue
 Dwg. No: C-ParkAvenue_L1.dwg
 Drawn by: BMM
 Checked by: BMM
 Issue Date: 03/10/2022

PERMITTING DOCUMENTS

THIS DRAWING IS THE PROPERTY OF THE LANDSCAPE ARCHITECT. ANY UNAUTHORIZED USE OF THIS DRAWING WITHOUT WRITTEN PERMISSION IS PROHIBITED.

Sheet 1 of 1